



FORMA BEAUTY SALON RENOVATION JSP23-14

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Approval of the request of Jakup Islami, for the Forma Beauty Salon, 26179 Novi Road. The subject parcel is 0.57 acres and is in Section 15 of the city, west of Novi Road and north of Grand River Avenue. It is zoned TC, Town Center. The façade alterations impact the entire structure and represent an improvement to the façade in general.

Required Action

Approval/Denial of a Section 9 Façade Waiver.

REVIEW	RESULT	DATE	COMMENTS
Façade	Approval recommended	02/16/2024	Section 9 waiver for: <ul style="list-style-type: none">- East (front façade): Overage of Flat Metal Panels, Underage of Brick & Stone- West (rear façade): Overage of Asphalt Shingles & Horizontal Siding, Underage of Brick & Stone- South façade: Overage of Horizontal Siding- North façade: Overage of Horizontal Siding

MOTION SHEET

Approval – Section 9 Façade Waiver

In the matter of the request of Jakup Islami, for Forma Beauty Salon JSP23-14, motion to approve a Section 9 Façade Waiver to allow:

- i. An underage of Brick & Stone on the east, front facing façade (38% proposed), and on the west, rear facing façade (37% proposed), where the ordinance minimum is 51%;
- ii. An overage of Flat Metal Panels on the east, front facing façade (62% proposed, 50% ordinance maximum);
- iii. An overage of Asphalt Shingles on the west, rear facing façade (56% proposed, 25% ordinance maximum); and
- iv. An overage of Horizontal Siding on the west facing façade (7% proposed), the south facing façade (6% proposed), and the north facing façade (6% proposed), where the ordinance maximum is 0%.

These approvals are based on and subject to the following:

- a. The deviations will not adversely affect the aesthetic quality of the building. The proposed alteration represents an improvement to the facades and is consistent with the intent and purpose of the Façade and TC Ordinances;
- b. The findings of compliance with Ordinance standards in the consultant review letter and the conditions and items listed in that letter being addressed on the Final Site Plan; and
- c. (additional conditions here, if any).

This motion is made because the plan is otherwise in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

-OR-

Denial – Section 9 Façade Waiver

In the matter of the request Jakup Islami, for Forma Beauty Salon Renovation JSP23-14, motion to deny the Section 9 Façade Waiver ... (because the plan is not in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance).


MAP
Location

FORMA BEAUTY SALON: JSP23-14



LOCATION



LEGEND

 Subject Property

Right of Way

-  Dedicated
-  Highway Easement
-  Prescriptive
-  Private



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Heather Zeigler
Date: 09/01/2024
Project: Forma Beauty Salon- Section 9 Facade Waiver
Version #: 1



1 inch = 143 feet



MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

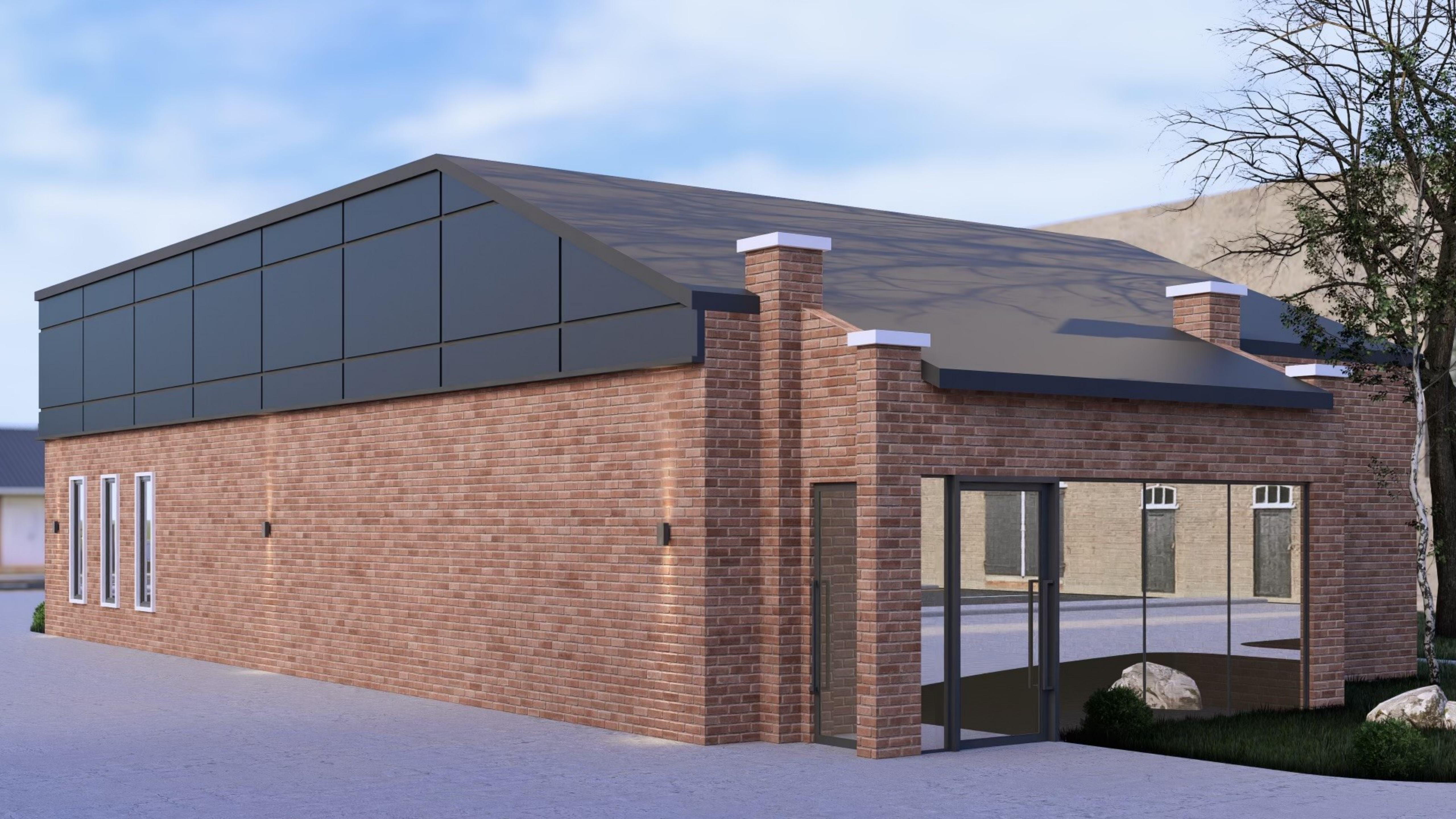
PROPOSED EXTERIOR RENOVATIONS

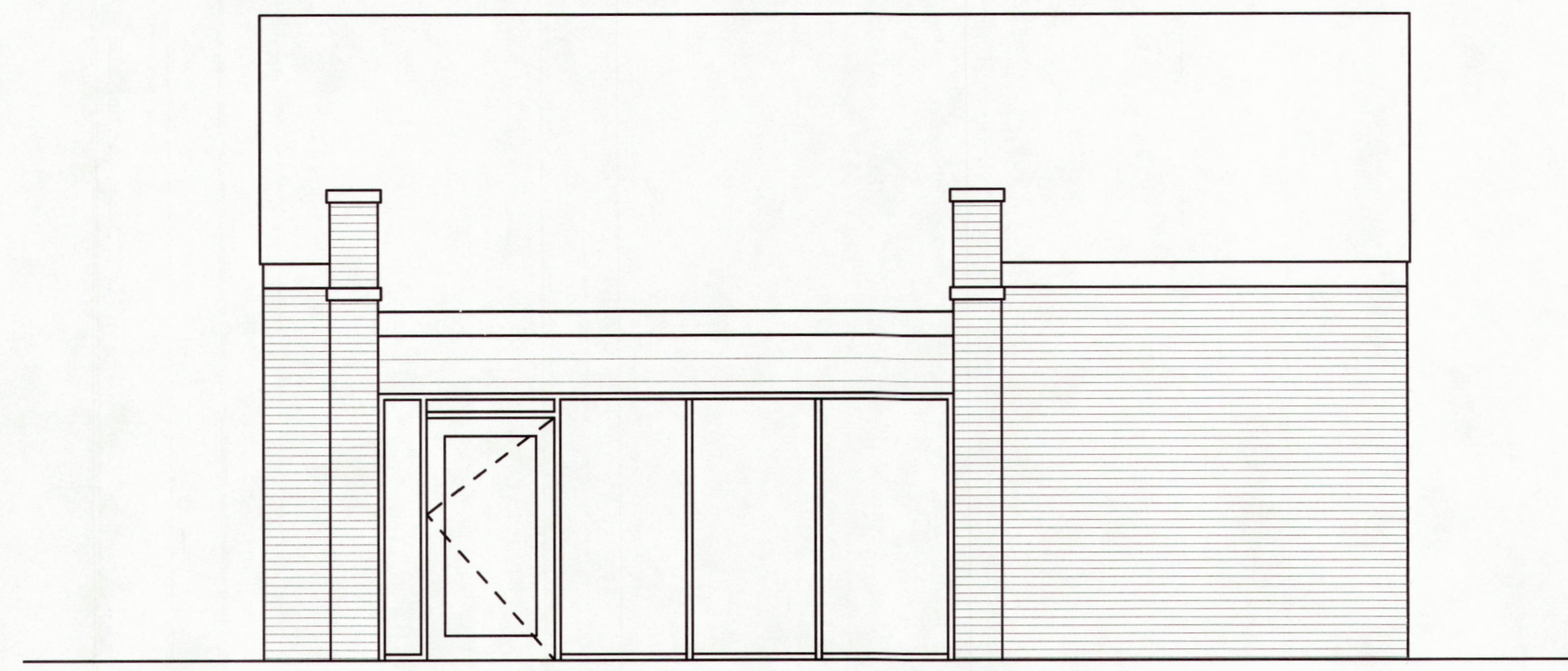
FORMA





FORMA





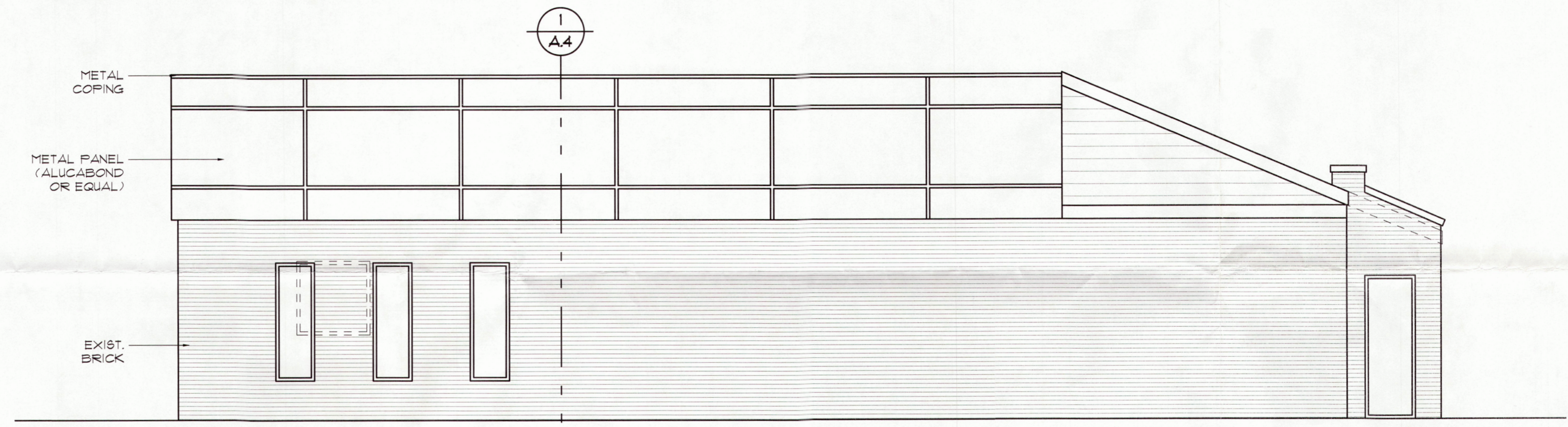
EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"



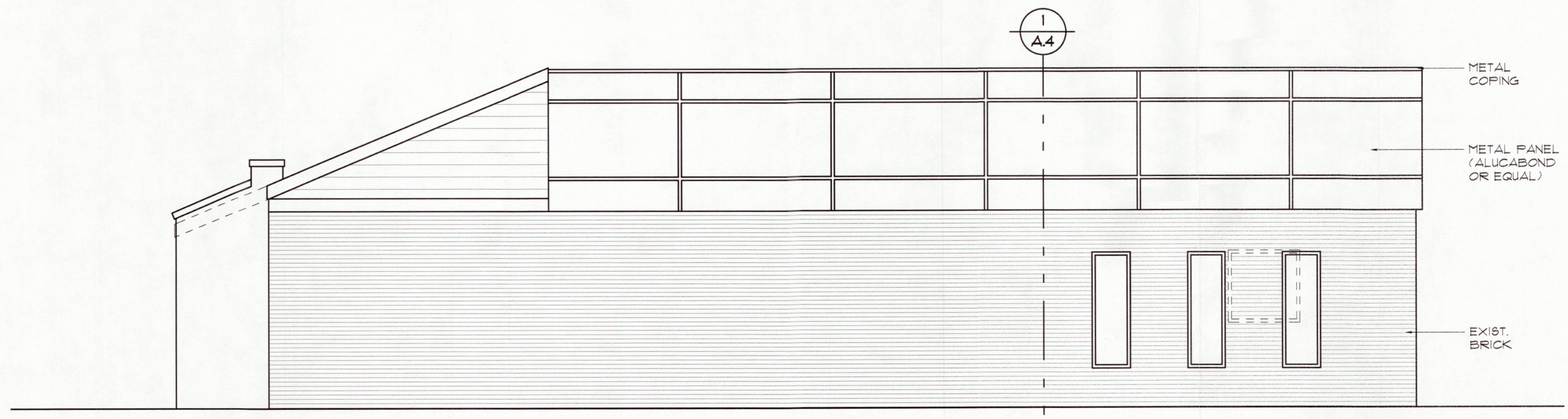
TOTAL FACADE AREA: 558 SF
GLASS AREA: 132 SF - 23.6%
BRICK AREA: 162 SF - 29.0%
METAL PANEL: 231 SF - 42.5%
FRONT DOOR: 21 SF - 4.9%

PROPOSED OPT. #1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

- METAL COPING
- METAL PANEL (ALUCABOND OR EQUAL)
- BRICK SOLDER CSE. - EXIST.
- EXIST. ALUM. 4 GL. WINDOWS
- EXIST. BRICK
- BRICK ROWLOCK SILL - EXIST.



PROPOSED LEFT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

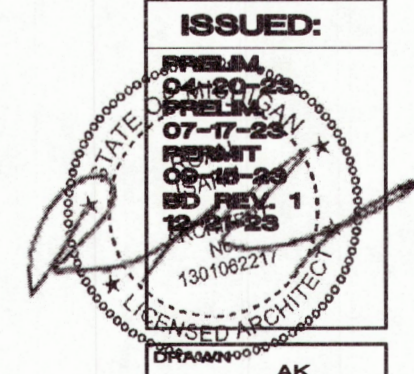
- METAL COPING
- METAL PANEL (ALUCABOND OR EQUAL)
- EXIST. BRICK

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PROJECT
FORMA BEAUTY SALON
2679 NOVI RD.
NOVI, MI

SUBJECT
PROPOSED EXTERIOR ELEVATIONS

ARKO DESIGN ASSOCIATES
2298 YASMIN DRIVE - COMMERCE TWP - MI - 48382
PH. (248) 802-8409



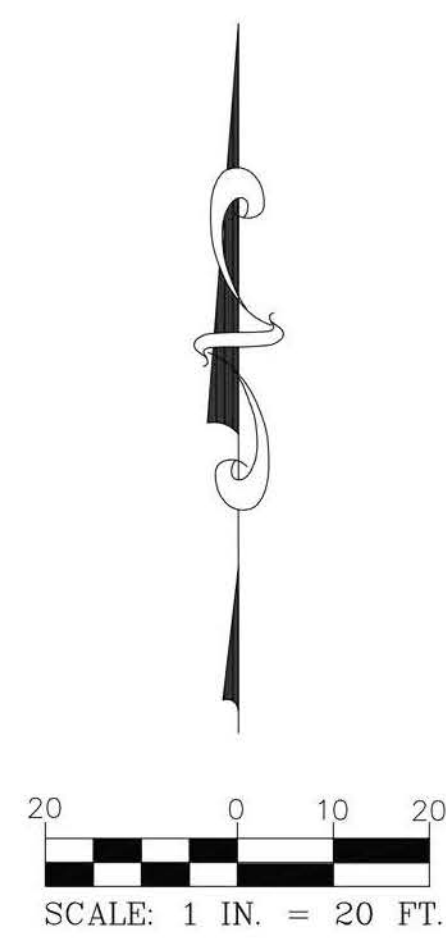
ISSUED:
DATE: 07-17-23
BY: [Signature]
CHECKED: AK
APPROVED: AK
BIDS: AK
CONSTR:

DO NOT SCALE PRINTS - USE FIGURED DIMENSIONS ONLY

JOB NO.
23-07

SHEET
A.2

PROPOSED HAIR SALON



PROPERTY DESCRIPTION
 LOT 4 OF "SUPERVISOR'S PLAT NO. 4" A SUBDIVISION OF PART OF THE S.E. 1/4 OF SECTION 15, T 1 N., R. 8 E. CITY OF NOVI, OAKLAND COUNTY, MICHIGAN. AS RECORDED IN L. 54A, P. 83 O.C.R.

- LEGEND**
- CATCH BASIN
 - SEWER MANHOLE
 - ⊕ FIRE HYDRANT
 - ⊕ GATE VALVE & WELL
 - ⊕ UTILITY POLE
 - ⊕ LIGHT POLE
 - ⊕ WATER SHUT OFF
 - ⊕ SIGN
 - ⊕ GUARD POST
 - 917.74x SPOT ELEVATION
 - FCM ● FOUND CAPPED IRON
 - FCM ● FOUND CONC. MONUMENT
 - FIR ● FOUND IRON
 - SCIR ● SET CAPPED IRON ROD

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P.3	PLUMBING RISER DIAGRAM & SPECIFICATIONS
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PROJECT DATA

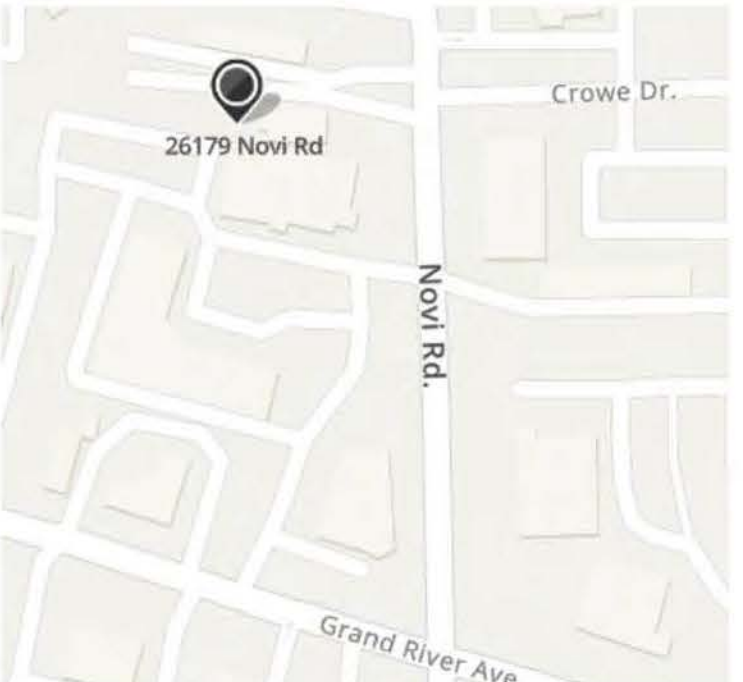
PROJECT NAME.....FORMA BEAUTY SALON
 PROJECT LOCATION.....26179 NOVI RD., NOVI, MI
 CURRENT ZONING: TC (TOWN CENTER)
 PROPOSED ZONING: TC (TOWN CENTER)
 PROJECT DESCRIPTION.....TENANT BUILD-OUT

APPLICABLE CODES.....2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS - CHAPTER 201.11 PRESCRIPTIVE COMPLIANCE METHOD
 2015 MICHIGAN BUILDING CODE
 2015 MICHIGAN MECHANICAL CODE
 2018 MICHIGAN PLUMBING CODE
 2017 MICHIGAN ELECTRICAL CODE
 MICHIGAN ACT 1 OF 1966, ICC A117.1-2009 STANDARD FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
 2015 MICHIGAN ENERGY CODE INCLUDING ANSI/ASHRAE/IES 90.1-2013 FOR COMMERCIAL BUILDINGS

CONSTRUCTION TYPE.....TYPE 2B, UNPROTECTED, UN-SPRINKLERED
 AREA @ LEASE LINE.....1,974 SF
 OCCUPANCY.....B (BUSINESS)
 PREVIOUS OCCUPANCY.....B (BUSINESS) - MEDICAL OFFICE
 OCCUPANT LOAD.....20 OCCUPANTS
 1974 SF / 100 SF/OCC.
 EXIT ILLUMINATION.....EXIT LIGHTS ON EMERGENCY CIRCUIT WITH BATTERY PACKS

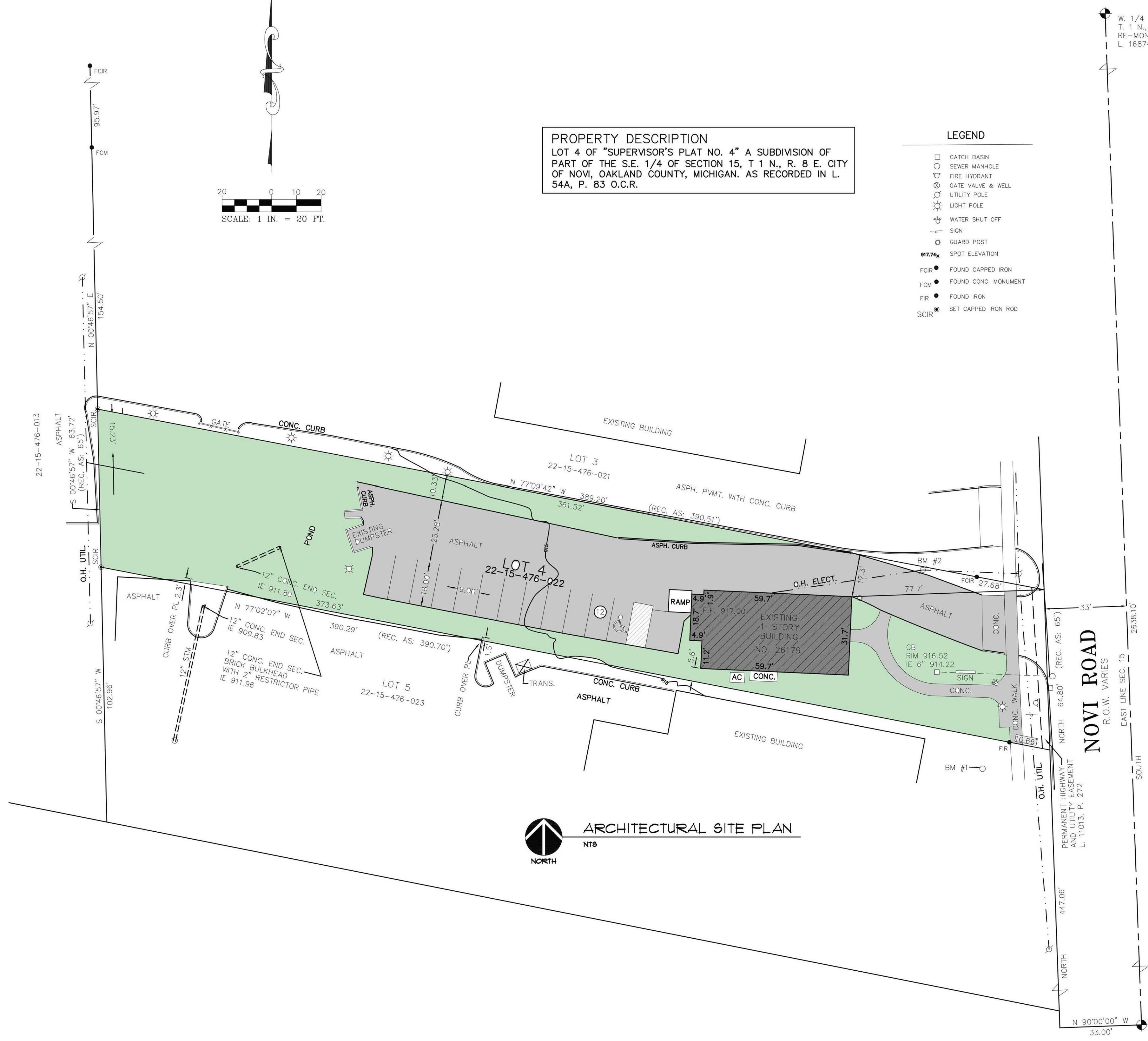
PARKING (BASED ON 6 HAIR STATIONS)
 THREE (3) SPACES FOR EACH OF THE FIRST TWO (2) BEAUTY OR BARBER CHAIRS, AND ONE AND ONE-HALF (1 1/2) SPACES FOR EACH ADDITIONAL CHAIR
 REQUIRED PARKING.....12 SPACES
 PROVIDED PARKING.....12 SPACES

CONTACT:
JAKUP (JACOB) ISLAMI
 CELL: 734-620-7295



W. 1/4 COR. SEC. 15
 T. 1 N., R. 8 E.
 RE-MON CAP IN MON BOX.
 L. 16874, P. 186

SE COR. SEC. 15
 T. 1 N., R. 8 E.
 RE-MON CAP IN MON BOX.
 L. 16874, P. 152



ARCHITECTURAL SITE PLAN
 NTS

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PROJECT
 FORMA BEAUTY SALON
 26179 NOVI RD.
 NOVI, MI

SUBJECT
 SITE PLAN
 PROJECT DATA
 INDEX OF DRAWINGS

ARKO DESIGN ASSOCIATES
 2298 YASMIN DRIVE - COMMERCE TWP - MI - 48382
 PH. (248) 802-8409

ISSUED:
 PRELIM. 04-20-23
 PRELIM. 07-17-23
 PRELIM. 09-15-23
 BID REV. 1 12-21-23

DRAWN AK
 CHECKED AK
 APPROVED AK
 BIDS
 CONSTR

DO NOT SCALE PRINTS - USE FIGURED DIMENSIONS ONLY

JOB NO.
23-07

SHEET
C.1
 PROPOSED HAIR SALON

SITE PLAN
 NTS



ALUCOBOND® is a registered leader-
mark of 3A Composites USA

Tri-Corn Black

SKU #: AB101

Scan the QR Code for specifications of this color.

AVAILABILITY:	Standard	Non-Standard	Not Available
4mm ACM	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
.040" Metal	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
.063" Metal	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
.080" Metal	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Approved by: _____

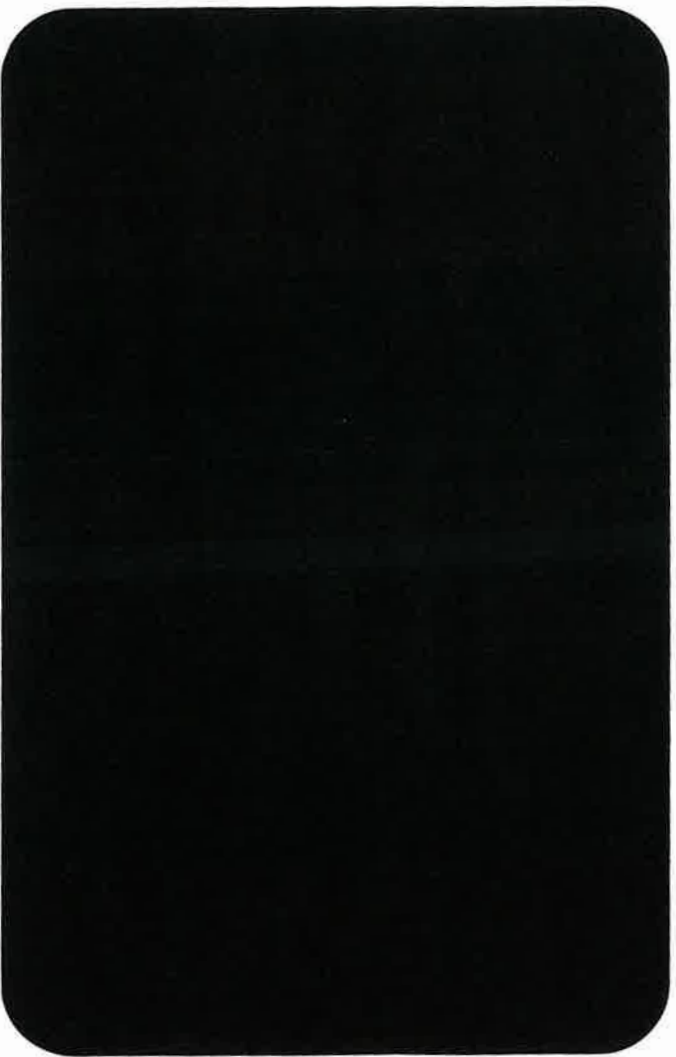
Date: / /



This is an "070" call sample. It is not representative of
the ALUCOBOND material. Remove marking from
opposite side of sample color.

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11.2023



FAÇADE REVIEW



February 16, 2024

Façade Review Status:
Approved, Section 9 Waiver Recommended

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth

Re: **FACADE ORDINANCE REVIEW**
Forma Beauty Salon, JSP23-14,
 Façade Region: 1, Zoning District: TC

Dear Ms. McBeth:

This Façade Review is based on the drawings prepared by Arko design Associates dated 12/21/23. The Façade Ordinance Section 5.15 and the Town Center Ordinance Section 3.27.G are applicable to this project. The proposed percentages of materials are as shown in the table below. The maximum (and minimum) percentages of materials required by the Ordinances are shown in the right-hand columns. Materials that are in non-compliance are highlighted below.

	East (Front)	West (Rear)	South	North	Ordinance 5.15 Maximum (Minimum)	Ordinance 3.27.G
Brick (Existing)	38%	37%	58%	58%	100% (30%)	51% Minimum Brick & Stone
Flat Metal Panels (Proposed)	62%	0%	36%	36%	50%	
Asphalt Shingles (Existing)	0%	56%	0%	0%	25%	
Horizontal Siding (Existing)	0%	7%	6%	6%	0%	

The sample provided indicates that the Flat Metal Panels will be back colored. The existing brick is to remain. It should be noted that painting of the existing Brick is prohibited. The TC Ordinance Section 3.27.G requires that all facades be primarily Brick or Stone. As shown above the minimum percent of Brick and/or Stone (51%) is not provided on the front and rear elevations and the percent of Horizontal Siding, Asphalt Shingles and Flat Metal Panels exceeds the maximum amount allowed by the Ordinance.

Recommendation – In this case the deviations will not adversely affect the aesthetic quality of the building. The proposed alteration represents an improvement to the facades and is consistent with the intent and purpose of the Façade and TC Ordinances. A Section 9 Waiver for the overage of Horizontal Siding, Asphalt Shingles and Flat Metal Panels and underage of Brick and Stone is therefore recommended.

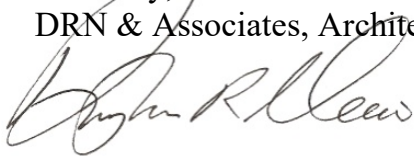
Notes to the Applicant:

1. Inspections – The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”.

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

2. RTU Screening - It should be noted that all roof top units must be screened from view from all vantage points both on-site and off-site using materials in compliance with the Façade Ordinance.

Sincerely,
DRN & Associates, Architects PC

A handwritten signature in black ink, appearing to read "Douglas R. Necci", is written over the typed name below.

Douglas R. Necci, AIA