



NOVI METHODIST PLAY AREA JSP23-44

JSP23-44 NOVI METHODIST PLAY AREA

Consideration of Preliminary Site Plan and Special Land Use at the request of Radiance Montessori. The subject property, 41671 Ten Mile Road, totals approximately 5.01 acres and is located in Section 26, south of Ten Mile Road and west of Meadowbrook Road. The applicant is proposing to operate a Montessori day care center out of a portion of the existing church and install an approximately 1,200 square-foot, fenced-in play area. Special Land Use approval is required for a day care center in the RA Residential Acreage District.

Required Action

Approve or Deny the Special Land Use along with any applicable waivers.

REVIEW	RESULT	DATE	COMMENT
Planning	Approval recommended	3-04-24	<p>Applicant is seeking a modification to the play area size requirement</p> <p>Applicant is seeking a waiver from the noise impact statement requirement because the play area is being constructed in an existing play area</p> <p>Inconsistencies on the site plan will need to be clarified in a Final Site Plan submittal</p>
Fire	No Objections	2-20-24	

Motion sheet

Approval – Preliminary Site Plan

In the matter of Novi Methodist Play Area, JSP23-44, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. Planning Commission approval to modify play area size requirement based on applicant justification through Section 4.12.2.i.a – applicant is seeking waiver of 1,600 square feet (at least 2,800 square feet required, 1,200 square feet proposed) *supported because the applicant has shown that the proposed number of children playing outside at one time in the proposed play area size is permitted by the state standards and regulations; and*
- b. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan submittal; and
- c. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance)

- AND -

Approval – Special Land Use Permit

In the matter of Medstar, JSP23-35, motion to **approve** the Special Land Use Permit based on and subject to the following

- a. Relative to other feasible uses of the site:
 1. The proposed use will not cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off street parking, off-street loading/unloading, travel times, and thoroughfare level of service *(as it does not generate additional traffic and adequate stacking has been provided);*
 2. The proposed use will not cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal, and police and fire protection to serve existing and planned uses in the area *(no impacts to utilities are anticipated);*
 3. The proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses, and wildlife habitats *(no impacts to existing natural features are proposed);*
 4. The proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood *(the play area is being constructed in an existing play area);*

5. The proposed use is consistent with the goals, objectives, and recommendations of the City's Master Plan or Land Use *(as it fulfills one of the Master plan objectives to attract new businesses to the City of Novi)*;
 6. The proposed use will promote the use of land in a socially and economically desirable manner *(as it fulfills one of the Master plan objectives to attract new businesses to the City of Novi)*;
 7. The proposed use is listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located;
- b. Waiver from the Noise Impact Statement requirement because the play area is being constructing in an existing play area. *Supported because the location of the new, fenced-in play area is away from the neighboring residences; and*
 - c. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan submittal;
 - d. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance)

- OR -

Denial – Preliminary Site Plan

In the matter of Nov Methodist Play Area, JSP23-44, motion to **deny** the Preliminary Site Plan *(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

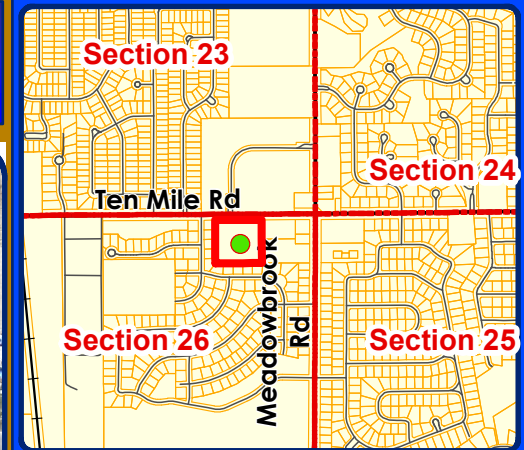
- AND -

Denial – Special Land Use Permit

In the matter of Nov Methodist Play Area, JSP23-44, motion to **deny** the Special Land Use Permit *(because the use is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

MAPS
Location
Zoning
Future Land Use

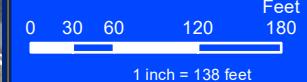
NOVI METHODIST PLAY AREA LOCATION



 **Subject Property**

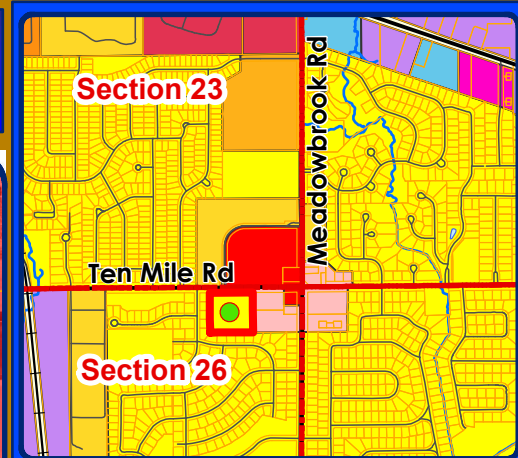
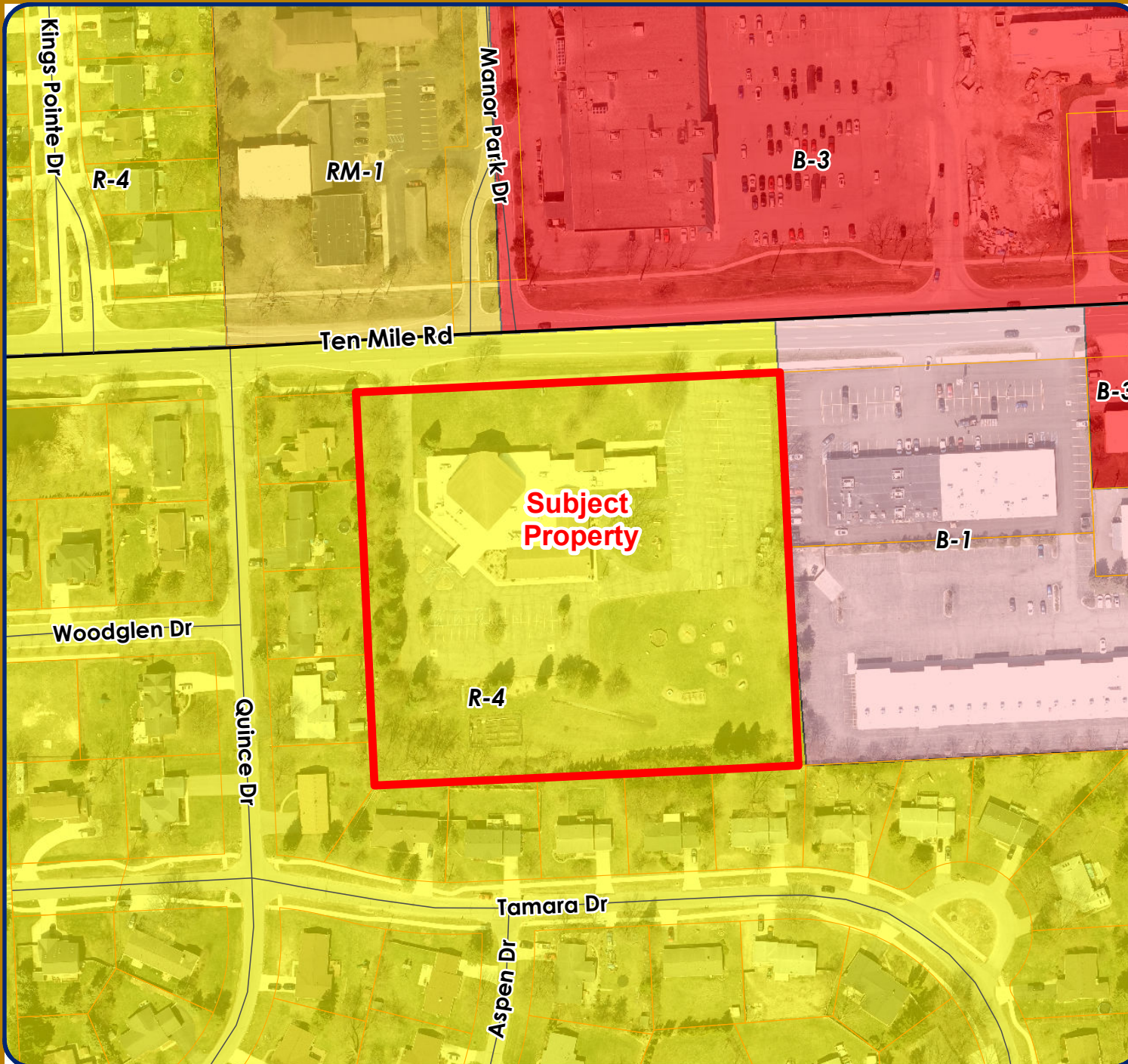
City of Novi
Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: James Hill
Date: 2/21/24
Project: NOVI METHODIST PLAY AREA
Version #: 1



MAP INTERPRETATION NOTICE
Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

NOVI METHODIST PLAY AREA ZONING



LEGEND

- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- RM-2: High-Density Multiple Family
- B-1: Local Business District
- B-3: General Business District
- GE: Gateway East District
- I-1: Light Industrial District
- I-2: General Industrial District
- NCC: Non-Center Commercial District
- OS-1: Office Service District
- TC-1: Town Center -1 District
- Subject Property

City of Novi
 Dept. of Community Development
 City Hall / Civic Center
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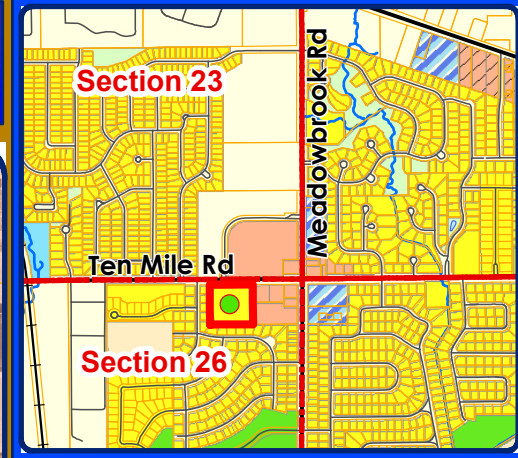
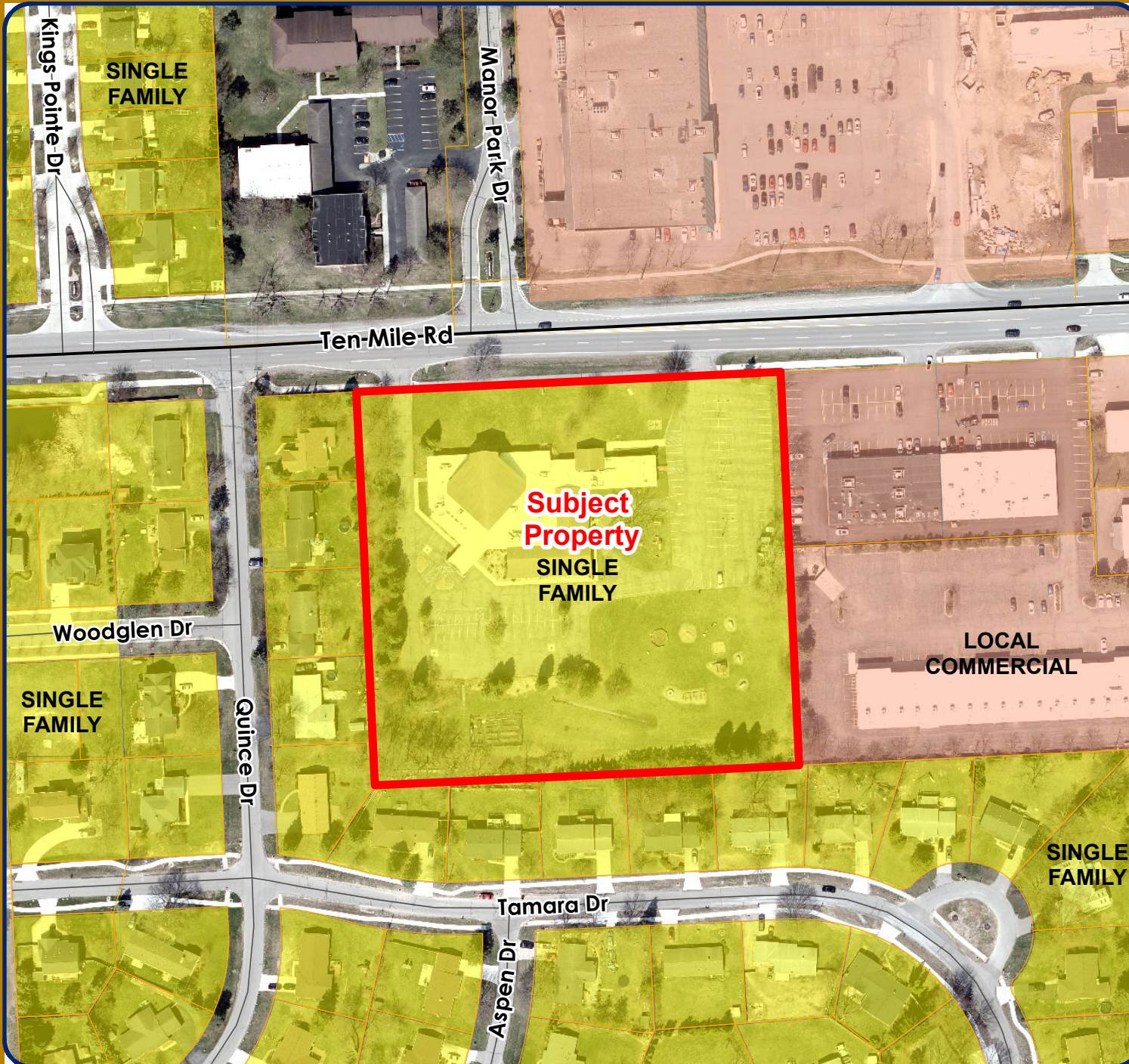
1 inch = 166 feet

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NOVI METHODIST PLAY AREA

FUTURE LAND USE



LEGEND

- Single Family
- Community Office
- Heavy Industrial
- Local Commercial
- Community Commercial
- Educational Facility
- Public
- Public Park
- Private Park
- Subject Property

City of Novi
 Dept. of Community Development
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Feet
 0 35 70 140 210

1 inch = 166 feet

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PLANNING REVIEW



PLAN REVIEW CENTER REPORT

3/4/2024

Planning Review

Novi Methodist Play Area

JSP 23-44

PETITIONER

Novi Radiance Montessori

REVIEW TYPE

Preliminary Site Plan and Final Site Plan Review, Special Land Use Consideration

PROPERTY CHARACTERISTICS

Section	Section 26	
Site Location	South of 10 Mile Road, West of Novi Road	
Site School	Novi Community School District	
Site Zoning	RA Residential Acreage	
Adjoining Zoning	North	B-3 General Business, RM-1 Low-Rise Multiple Family
	East	R-4 One-Family Residential
	West	R-4 One-Family Residential
	South	B-1 Local Business District
Current Site	Novi Methodist Church	
Adjoining Uses	North	Busch's, Tree Top Meadows Apartments
	East	Novi Plaza
	West	Orchard Hills (single family residential)
	South	Orchard Hills (single family residential)
Site Size	5.01 acres	
Plan Date	December 7, 2023	

PROJECT SUMMARY

The applicant, Novi Radiance Montessori, would like to operate its Montessori school out of a portion of the Novi Methodist Church south of 10 Mile Road, west of Meadowbrook Road. The applicant is proposing to install the required fenced-in play area in the existing backyard. The fenced-in play area is approximately 1,200 square feet, a state minimum. There is currently crosswalk striping in the parking lot connecting the church to the play area. Radiance Montessori intends to have in its care not more than 40 children. A Special Land Use is required for the daycare use in the RA Residential Acreage zoning district. There are no site changes proposed besides the play area and repainting the existing crosswalk.

RECOMMENDATION

Approval of the combined Preliminary and Final Site Plan is recommended *subject to the Planning Commission's consideration and approval of the Preliminary Site Plan and Special Land Use*. All reviewers recommend approval of the Preliminary Site Plan, but a revised submittal of the Final

Site Plan will be required to more accurately show the existing and proposed conditions of the site.

PROJECT HISTORY

Text Amendment 18.301 allows for the Planning Commission to modify the requirements of the Zoning Ordinance when it comes to the size of outdoor play areas, if justification is provided. A daycare use previously came before the Planning Commission at the Novi Methodist Church, but the applicant did not want to install a fence around the play area.

A Pre-Application meeting was held on November 1, 2023.

ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Please see the attached charts for information pertaining to ordinance requirements. [Items in **bold** below must be addressed and incorporated as part of the final site plan submittal.]

1. Day Care Centers outside recreation requirement (Sec. 4.12.2): The minimum one-hundred fifty (150) square feet of outdoor recreation area per person cared for is not met, in addition to the minimum total area of three-thousand five-hundred (3,500) square feet not being met. **Please provide justification (such as explicitly stating the State of Michigan requirements, or whether the children may be brought out to the playground at different times) in a response letter for not meeting this requirement.**
2. Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2) **Provide dimensions and details of the crosswalk between the building and the play area.**
3. Dumpster (Sec 4.19.2.F) **No dumpster is shown on the Preliminary Site Plan. Please show where dumpster(s) and dumpster enclosure(s) are located on the site plan.**
4. Site Plan (Sec. 6.1.2): Some elements of the site plan are not representative of the actual site conditions or what is proposed (i.e. additional sidewalk). **Please provide a site plan that accurately depicts the site conditions.**
5. Special Land Use Considerations (Sec. 6.1.2.C):
 - o Traffic Circulation and Safety: The proposed use will not cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, etc. *Ample stacking spaces are provided for pick-up and drop-off*
 - o Public Services and Utilities: The proposed use will not cause any detrimental impact on the capabilities of public services and facilities. *No proposed impacts.*
 - o Natural Features: the proposed use is compatible with the natural features and characteristics of the land. *No regulated woodlands or wetlands being impacted*
 - o Impact on Surrounding Neighborhoods: the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property. *Play area located within existing play area on the site*
 - o Master Plan for Land Use: The proposed use is consistent with the goals, objectives, and recommendations of the City's Master Plan for Land Use. *Promoting new business*
 - o Social and Economic Impact: The proposed use will promote the use of land in a socially and economically desirable manner

- o Zoning Ordinance and Land Use: The proposed use is listed among the provision of uses requiring special land use review. *Daycare use listed*

LIST OF DEVIATIONS UNDER CONSIDERATION

- The applicant is seeking a deviation from the Planning Commission of the required minimum square footage for play areas for day care centers, as permitted by the Zoning Ordinance after reviewing the applicant's justification for the decreased play area.

OTHER REVIEWS:

- a. Landscape Review: Landscape recommends approval.
- b. Engineering Review: Additional comments to be addressed with revised Final Site Plan set submittal. Engineering recommends approval.
- c. Fire Review: Additional Comments to be addressed with Electronic Stamping Set submittal. Fire recommends approval.

NEXT STEP: PLANNING COMMISSION AND RESPONSE LETTER

This Site Plan is scheduled to go before Planning Commission for consideration on **March 20, 2024 at 7:00 p.m.** Please provide via email the following **by noon on March 14, 2024**, if you wish to keep this schedule:

1. Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**
2. A response letter addressing ALL the comments from ALL the review letters and a request for waivers as you see fit.

FUTURE STEP: REVISED FINAL SITE PLAN

A revised submittal of the Final Site Plan is requested to better depict the site conditions and address any comments from the reviews. Please submit the following materials after the Planning Commission public hearing.

1. [Site Plan Revision Submittal](#)
2. **Three** copies of revised Final Site Plan, folded, addressing all comments from this review
3. Response letter **addressing all comments and refer to sheet numbers where the change is reflected**

ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

After receiving Preliminary/Final Site Plan approval, plans addressing the comments in all of the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter from either the applicant or the applicant's representative addressing comments in this and other review letters and associated charts is to be submitted with the electronic stamping set. This letter should address all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

STAMPING SET APPROVAL

Stamping sets are still required for this project. After having received all of the review comments from City staff the applicant should make the appropriate changes on the plans and submit **7 size 24" x 36" copies with original signature and original seals on the cover sheet (subsequent pages may use electronic seal with signature)**, to the Community Development Department for final Stamping Set approval.

If required, drafts for all legal documents with a legal transmittal are to be submitted along with stamping sets.

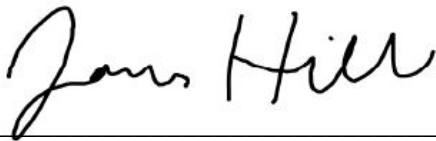
SIGNAGE

Exterior Signage is not regulated by the Planning Division or Planning Commission. Sign permit applications that relate to construction of a new building or an addition to an existing building may be submitted, reviewed, and approved as part of a site plan application. Proposed signs shall be shown on the preliminary site plan. Alternatively, an applicant may choose to submit a sign application to the Building Official for administrative review. Following preliminary site plan approval, any application to amend a sign permit or for a new or additional sign shall be submitted to the Building Official. Please contact the Ordinance Division 248.735.5678 for information regarding sign permits.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248-347-0547 or jhill@cityofnovi.org.



James Hill – Planner



PLANNING REVIEW CHART: R-4 (One Family Residential)

Review Date: March 4, 2024
Review Type: Combined Preliminary and Final Site Plan Review
Project Name: **JSP23-44 NOVI METHODIST PLAY AREA**
 41671 Ten Mile Road; 22-26-228-005
Plan Date: December 7, 2023
Prepared by: James Hill, Planner
E-mail: jhill@cityofnovi.org **Phone:** (248) 347-0547

Items in **Bold** need to be addressed by the applicant with next submittal. *Italicized* items are to be noted.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan	Single Family Residential	No change		
Zoning	R-4, One Family Residential	No change		
Uses Permitted (Sec 3.1.5)	Uses permitted listed in Section 3.1.5.	Child daycare center (up to 40 children)	TBD	Special Land Use in R-4, One Family Residential.
R-4 District Required Conditions (Sec. 3.7)				
Off-Street Parking (Sec. 3.7.4)	All off-street parking shall be arranged so as to minimize any impact on adjacent residential properties.	Complies – parking not proposed to change	Yes	
Max. Building Height (Sec. 3.1.5)	35 ft. or 2.5 stories, whichever is less	Complies – no change	Yes	
Max Lot Coverage % (Sec. 3.1.5)	25% (by all buildings)	Complies – no change	Yes	
Min. Building Setbacks (Sec. 3.1.5, Sec. 3.6.2)				
Front (North)	30 ft	~ 75 feet	Yes	<i>Existing building – no changes proposed</i>
Interior Side (East)	10 ft, total of 25 ft	~ 145 feet	Yes	
Interior Side (West)	10 ft, total of 25 ft	~ 75 feet	Yes	
Rear (South)	35 ft	~ 230 feet	Yes	
Min. Parking Setbacks (Sec. 3.1.5)				
Front (North)	-	~ 15 feet	NA	<i>Existing lot – no changes proposed</i>
Interior Side (East)	-	~ 10 feet		
Interior Side (West)	-	~ 40 feet		
Rear (South)	-	~ 115 feet		
Day Care Center Use Standards (Sec. 4.12.1.B, up to 50 children)				
Number of Children (Sec. 4.12.1.B)	Daycare centers under Sec. 4.12.1.B shall accommodate no more than 50 children	Occupancy indicated to be 40 children	Yes	<i>This shall be a condition of the Special Land Use Request.</i>
Outside Recreation Area (Sec. 4.12.1.B.i)	(a) For each person cared for, there shall be provided and maintained a minimum of 150 square feet of outdoor recreation area	40 children would require 6,000 square feet of outdoor recreation area – 1,200 square feet provided	No	
	(b) Such recreation area shall have a total minimum area of not less than 2,800 square feet	1,200 square feet provided	No	The deficiency in play area size can be waived by the Planning Commission,

Item	Required Code	Proposed	Meets Code	Comments
	(c) The recreation area shall be securely fenced and screened from any adjoining lot in any residential district, with appropriate fence and landscape materials as reviewed by the City's Landscape Architect to provide opaque screening for the outside activities. These screening requirements are in addition to the requirements of Section 5.5.	Fence details provided; 4-foot high steel chain link fence with one gate	Yes	upon justification by the applicant
Minimum Parcel Size <i>(Sec. 4.12.1.B.ii)</i>	The minimum parcel size for a Day Care Center shall be 1 acre.	5.01 acres	Yes	
Hours of Operation <i>(Sec. 4.12.1.B.iii)</i>	The hours of operation shall be limited to the period between 6am and 7pm.	Hours of operation indicated to comply	Yes	
Access to a Major Thoroughfare <i>(Sec. 4.12.1.B.iv)</i>	The parcel shall abut and have access to a major thoroughfare or section line collector road. The driveways shall be designed so that vehicles can exit the site without having to back onto a major thoroughfare.	Access to Ten Mile Road (Major Thoroughfare)	Yes	
Licensing <i>(Sec. 4.12.1.B.v)</i>	The licensee shall register with the City Clerk and the licensed premises may be subject to a fire department inspection and shall provide a smoke detector in all daytime sleeping areas.	Shall Comply	TBD	Applicant shall verify with the City Clerk's Office if this is necessary.
Refuse Bins <i>(Sec. 4.12.1.B.vi)</i>	Any refuse bins or outside trash receptacles shall be located as far away as is practical from properties zoned for residential uses.	Not shown	Yes?	Please show location of refuse bin
Façade Combability with Surrounding Residential <i>(Sec. 4.12.B.vii)</i>	The exterior building facades shall comply with Section 5.15. Additionally, the City's Façade Consultant shall review the proposed architectural style of the structure to ensure the residential character of the neighborhood is maintained with regard to design and	Complies – no changes to the façade are proposed.	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	facade elements. The following materials shall be allowed up to a maximum of twenty five (25) percent of the building facade, with a finding that these materials will be compatible with the adjacent residential areas: wood siding, painted siding, tongue and groove siding, batten siding, vinyl siding and aluminum siding. These materials are subject to footnote 11 of the Schedule Regulating Facade Materials, in Section 5.15.			
Noise Impact Statement (Sec. 4.12.1.B.viii)	A noise impact statement is required subject to the standards of Section 5.14.10.B.	A noise impact statement is mentioned in the response letter to be in compliance with the standards of the Ordinance, but no statement formally provided	No	A waiver from the noise impact statement from the Planning Commission will be required
Drive-Through Stacking Spaces (Sec. 5.3.11.1)	The applicant has indicated that the daycare intends to use the drop off lane that is provided on site. The zoning ordinance minimum stacking requirements per lane is 1 vehicle per 15 children inclusive of the vehicle at the drop-off point. No parking area or maneuvering lanes shall be permitted between the drop-off point and the principal entrance to the building.	'Occupancy load' indicated as 40 children, meaning 3 spaces are required – at least 3 spaces shown	Yes	
Note to District Standards (Sec. 3.6.2)				
Area Requirements (Sec 3.6.2.A)	Pursuant to the definition contained in Section 2.2, lot width shall be measured between the two points where the front setback line intersects the side lot lines.	Complies/No change	Yes	
Building Setback (Sec. 3.6.2.B)	For all uses permitted other than single-family or two-family residential, the building or structure setback shall at least equal to: (1) the height	Complies/No change	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	of the main building; (2) seventy-five (75) feet; or (3) the setback required in the Development Standards of Section 3.1 of this Ordinance, whichever is greater. However, the minimum building setback from access streets may be reduced to fifty (50) feet for fire department structures where quick access to the street network is required.			
Exterior Side Yard Abutting a Street <i>(Sec 3.6.2.C)</i>	All exterior side yards abutting a street shall be provided with a setback equal to front yard.	Does not abut	NA	
Wetland/Watercourse Setback <i>(Sec 3.6.2.M)</i>	A setback of 25ft from wetlands and from high watermark course shall be maintained	No wetlands on-site	NA	
Non-Residential Fences <i>(Sec. 5.11.2&3)</i>				
Non-Residential Fences <i>(Sec. 5.11.2.A-D)</i>	No fence shall extend into a front or exterior side yard	Proposed play area in rear yard	Yes	
	No fence shall exceed 8 feet in height, except barbed wire placed along the top of a fence may project beyond the maximum height limitation of the fence, but no fence, including barbed wire, shall exceed an overall height of 11 feet.	4' high	Yes	
	No fence shall carry electrical current or charge of electricity.	Complies	Yes	
	Nothing in this Section shall be interpreted to supersede the applicable requirements of Section 5.5.	Complies	Yes	
Prohibited Materials <i>(Sec. 5.11.3.A)</i>	No fence shall be composed of scrap material, tires, canvas, cardboard, asphalt style shingles, chicken wire or similar fine wire mesh, corrugated metal or sheet metal. Fine wire fencing may be attached to the interior of, or made a part of any wooden, stone, brick, wrought-iron, or other such non-wire type fencing, where	Chain-link fence	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	the other type fencing would not provide an adequate barrier to contain pets or animals. When so applied, the wire shall be vinyl coated or painted in a standard dark brown, dark green or black color. When used under these conditions, it shall not be considered a wire fence.			
Maintenance (Sec. 5.11.3.B)	All fences shall be maintained in good condition, free of significant corrosion, peeling paint or finish and other damage. All fences shall be maintained in a condition of reasonable repair and not be allowed to become or remain in a condition of disrepair including noticeable leaning or missing sections or portions of sections, broken supports, nonuniform height, and growing of noxious vegetation. All fences shall comply with applicable provisions of the current City of Novi Property Maintenance Code.	Will comply	Yes	
Parking & Loading Standards				
Number of Parking Spaces (Sec. 5.2.12.B)	Nursery schools, day nurseries or childcare centers: 1 space for each 350 sf of useable floor area (UFA) + 1 for each employee ~1,500 sf UFA/350 sf = 5 spaces 2 employees = 2 spaces Total required: 7 spaces	Existing parking lot with 128 parking spaces.	Yes	<i>Hours of operation of the church and childcare center are not expected to overlap.</i>
Parking Space & Maneuvering Lane Dimensions (Sec. 5.3)	90° spaces: 9 ft. x 19 ft. parking spaces with 24 ft. drives 9 ft. x 17 ft. parking spaces along 7 ft. interior sidewalks, provided a 4 in. curb at these locations & along landscaping	9 ft x 17 ft and 9 ft x 18 ft spaces with 22 ft to 24 ft access aisles.	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Barrier Free Spaces (ADA standards)	5 barrier free spaces required (1 van accessible)	12 spaces – 8 van, 4 regular	Yes	
Barrier Free Space Dimensions (Barrier Free Code)	8 ft. wide with 5 ft. wide access aisle for standard accessible; 8 ft. wide with 8 ft. wide access aisle for van accessible	Existing	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual)	1 barrier free sign per space	Existing	Yes	
Loading Spaces (Sec. 5.4)	No standards in the R-4 Zoning District	NA	NA	
Sidewalks (City Code Sec. 11-256 & 11-276 & Non-Motorized Plan)	8 foot wide sidewalk required along Ten Mile Road Building exits must be connected to sidewalk system or parking lot	Existing sidewalk along Ten Mile Road. Building exits connected to sidewalk.	Yes	
Pedestrian Connectivity	Whether the traffic circulation features within the site and parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	Crosswalk shown connecting sidewalk to grass near play area	Yes?	Please show details of crosswalk, including dimensions and paint color
Dumpster Requirements (City Code Sec. 21-145)	Screening of not less than 5 ft. on 3 sides of dumpster required, interior bumpers or posts must also be shown. Screening should be 1 foot taller than dumpster	No change/No dumpster	NA	
Accessory Structure Setback- Dumpster (Sec. 4.19.2.F)	Located in the rear or interior side yard Min. 10 ft. from any building unless structurally attached & setback the same as parking from all property lines	No change/No dumpster	NA	
Bicycle Parking Facilities (Sec. 5.16.1)	Minimum of 2 spaces	No change	Yes	
Bicycle Parking Facilities (Sec. 5.16)	Located along the building approach line & easily accessible from the building entrance Max. 120 ft. from entrance being served or the nearest auto parking space to that entrance Be accessible via a paved 6	No change	NA	

Item	Required Code	Proposed	Meets Code	Comments
	ft. route & separated from auto facilities 4 ft. maneuvering lane with a 6 ft. parking space width & a depth of 2 ft. for single spaces & 2.5 ft. for double spaces			
Woodlands (City Code Ch. 37)	Replacement of removed trees	No trees are proposed to be impacted	Yes	A note should be added to the plans stating that if any of the screening plantings fail, it should be replaced immediately with a large evergreen tree at least six feet in height
Wetlands (City Code Ch. 12, Art. V)	Mitigation of removed wetlands at ratio of 1.5:1 emergent wetland, 2:1 for forested wetlands	No regulated wetlands appear to be impacted by this proposed project.		
Economic Impact	Total cost of the proposed building & site improvements. Number of anticipated jobs created (during construction & after building is occupied, if known)	Not required	NA	
Development/ Business Sign	Signs are not regulated by the Planning Division or Planning Commission	Not indicated, check with Code Compliance if proposing a sign	Contact Ordinance at 248.735.5678 or OrdinanceEnforcement@cityofnovi.org for information	
Project and Street Naming Committee	Some projects may need approval from the Street & Project Naming Committee	Not required	Contact Diana Shanahan at 248.347.0483 or dshanahan@cityofnovi.org for more information	

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

FIRE REVIEW



February 20, 2024

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
James Hill – Plan Review Center
Heather Zeigler – Plan Review Center
Diana Shanahan – Planning Assistant

CITY COUNCIL

Mayor
Justin Fischer

Mayor Pro Tem
Laura Marie Casey

Dave Staudt

Brian Smith

Ericka Thomas

Matt Heintz

Priya Gurumurthy

City Manager
Victor Cardenas

**Director of Public Safety
Chief of Police**
Erick W. Zinser

Fire Chief
John B. Martin

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief
Todd Seog

RE: Novi Methodist Play Area

PSP# 24-0012

Project Description:

Construct an outdoor play area.

Comments:

Meets fire department standards.

Recommendation:

Approved

Sincerely,

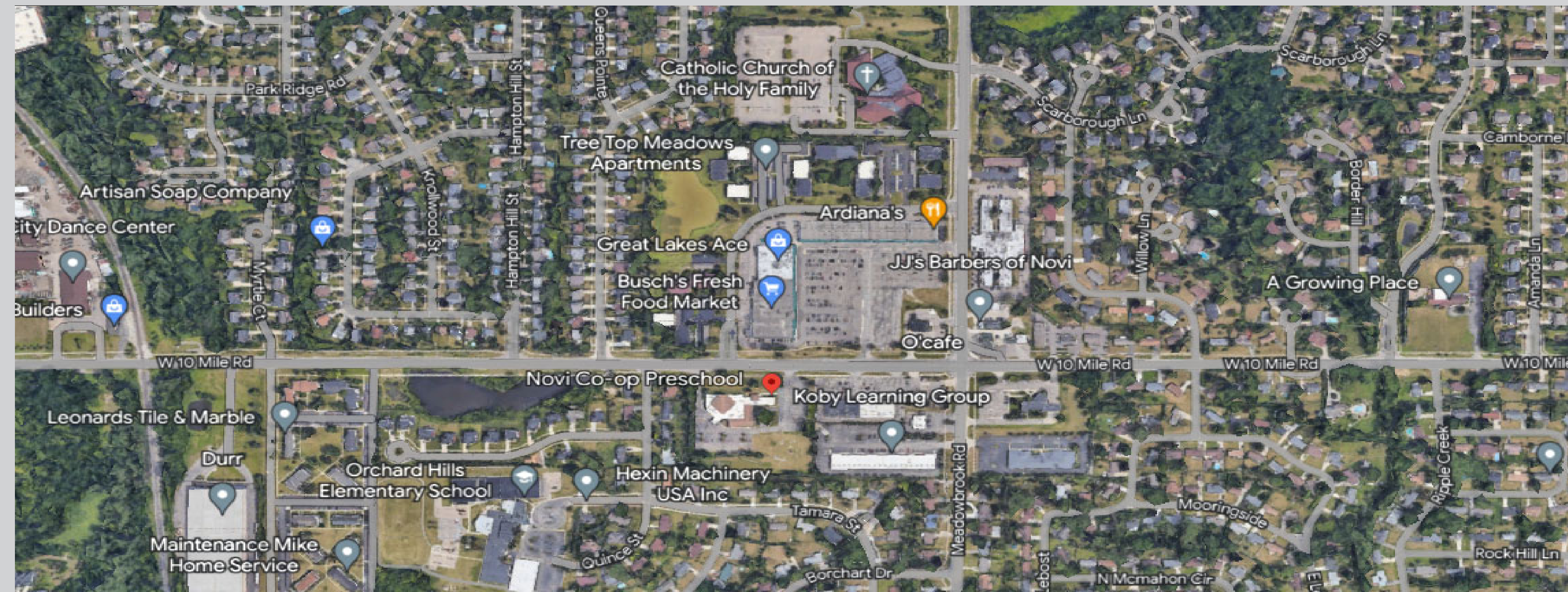
Kevin S. Pierce-Fire Marshal
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

SITE PLAN



Tim Nichols Architect

www.timnichols.net • tim@timnichols.net • (248)470-3043
 23557 Outwood Dr Southfield, MI 48033

Novi Radiance Montessori LLC

48375 W 10 Mile Rd
Novi, MI

Client
Samanthi Raderigo

Code Data

- 2015 MICHIGAN BUILDING CODE
- MICHIGAN ENERGY CODE
- USE GROUP M
- BUILDING TYPE 3B
- OCCUPANCY LOAD 40 Children

Issue Dates

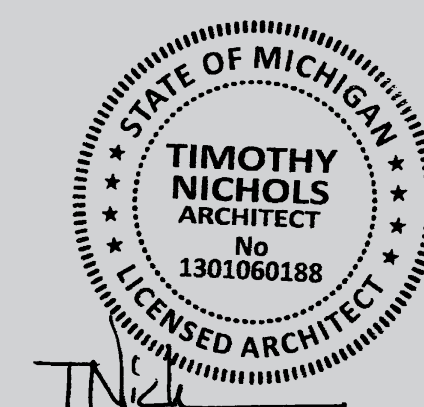
- Internal Review 26/09/23
- Client Review 28/11/23
- Permit 07/12/23

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Owner (initial).....



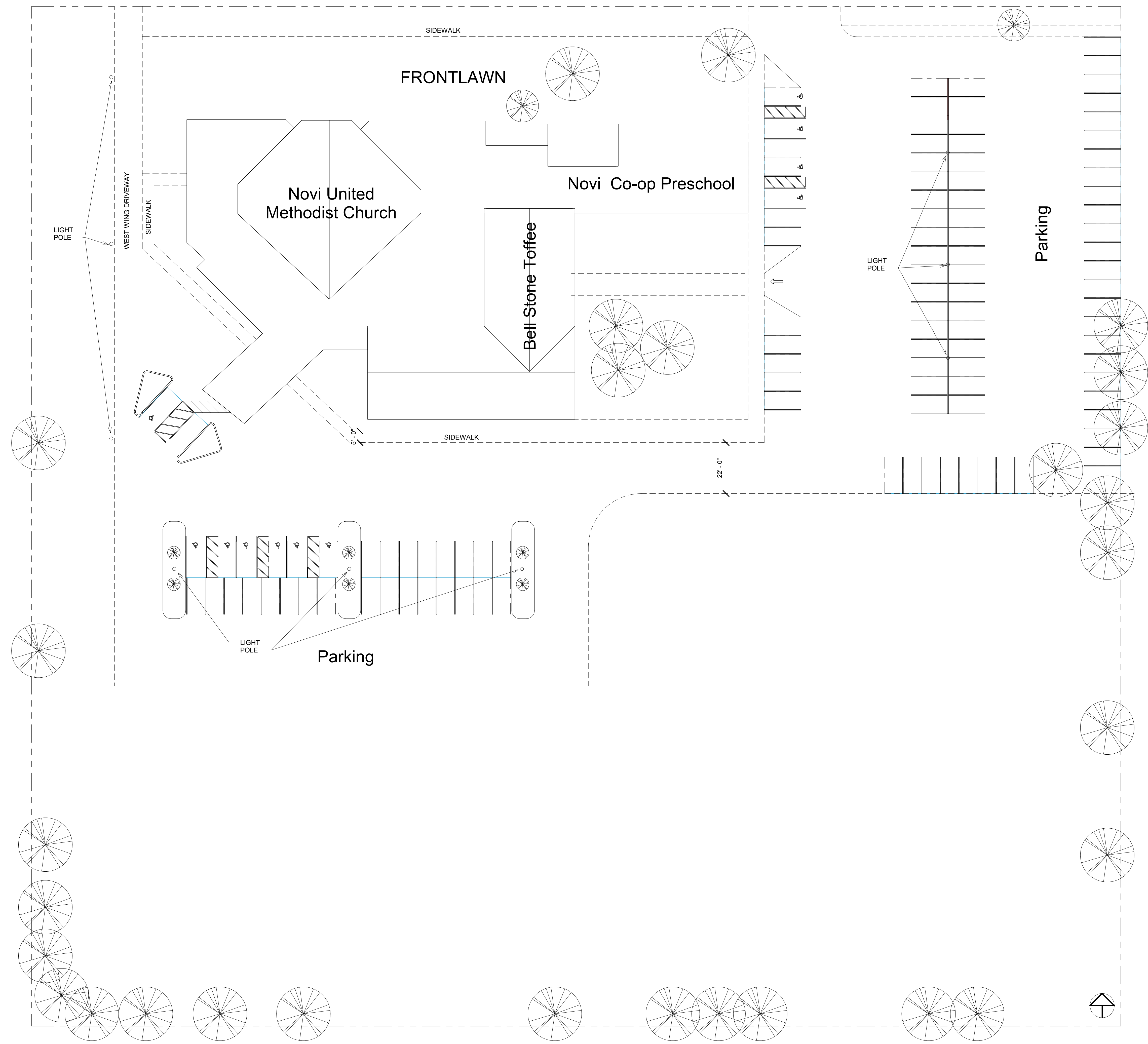
Sheet Index

Cover Sheet	000
Existing Site Plan	001
Proposed Site Plan	002
Existing Floor Plan	003
Design Floor Plan	004
Sections	005
Scope of work	006

001

EXISTING SITE

WEST 10 MILE ROAD



Client
Novi Radiance

Drawn By
FS

Checked By
TN

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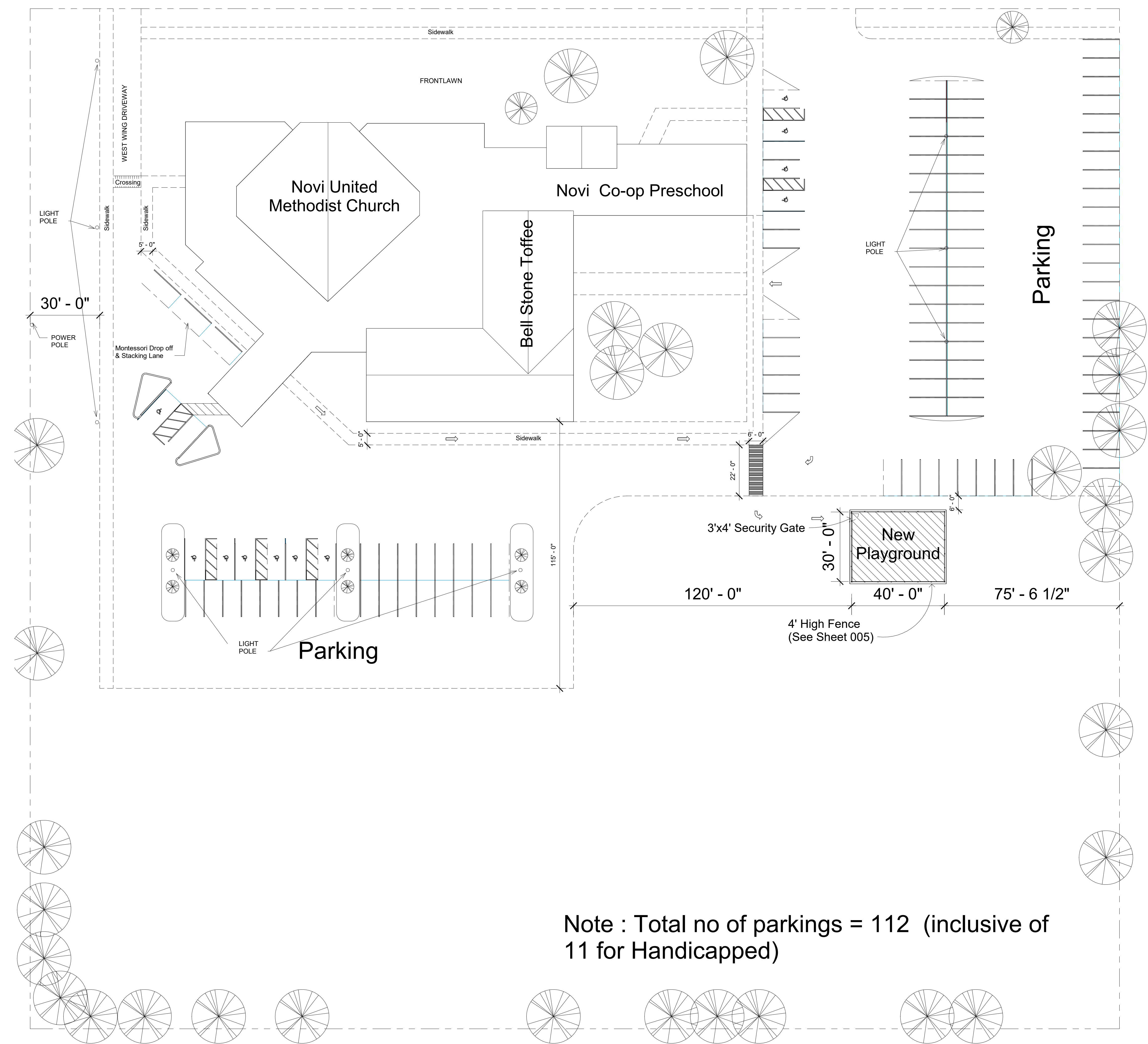
Tim Nichols
Architect

www.timnichols.net
tim@timnichols.net
(248)470-3043



23557 Outwood Dr
Southfield, MI 48033

WEST 10 MILE ROAD



Note : Total no of parkings = 112 (inclusive of 11 for Handicapped)

Client
Novi Radiance

Drawn By
FS

Checked By
TNA

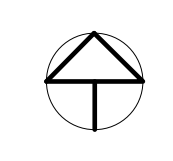
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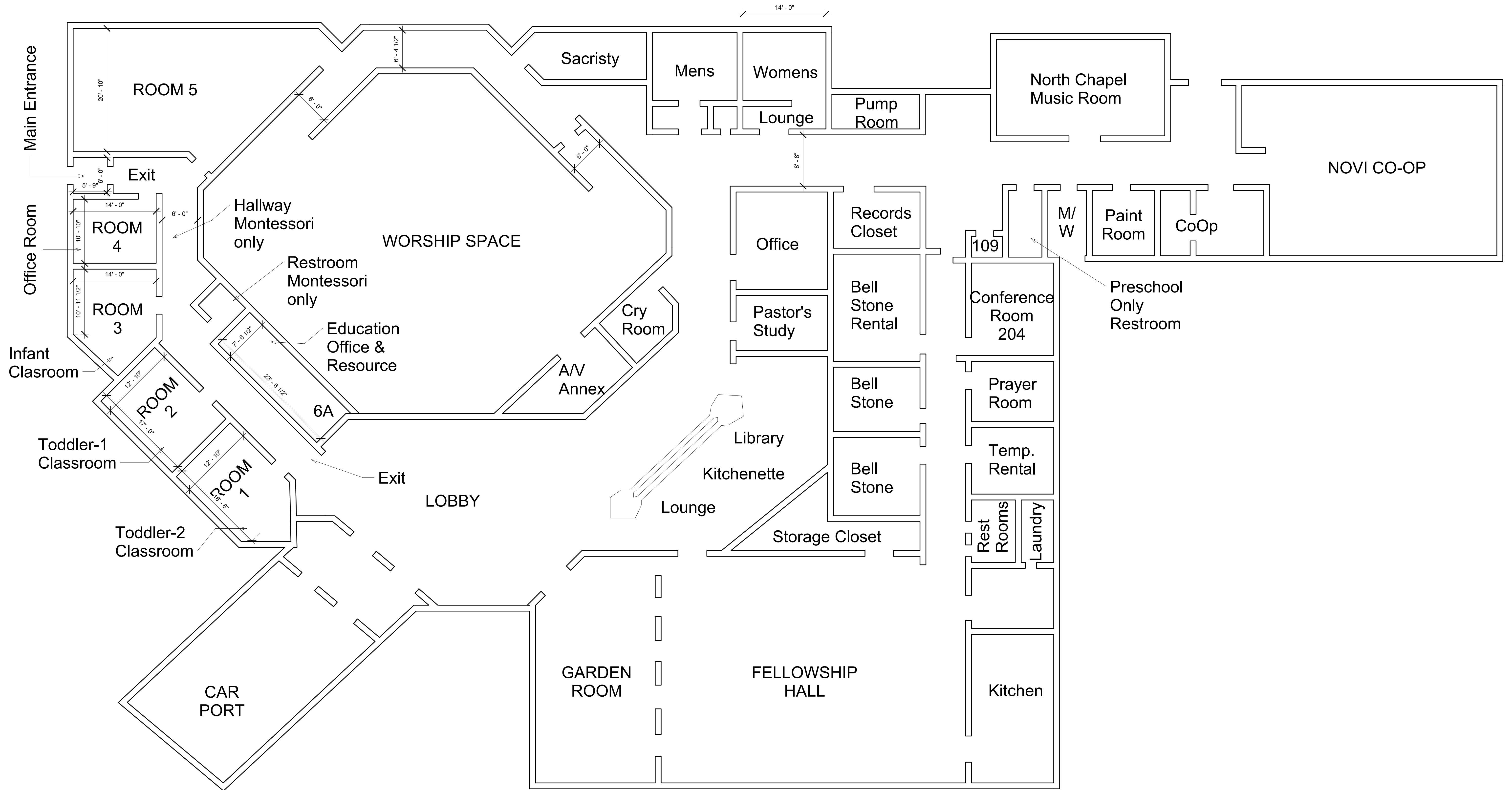
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Architect

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tim@timnichols.net
(248)470-3043

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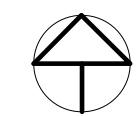
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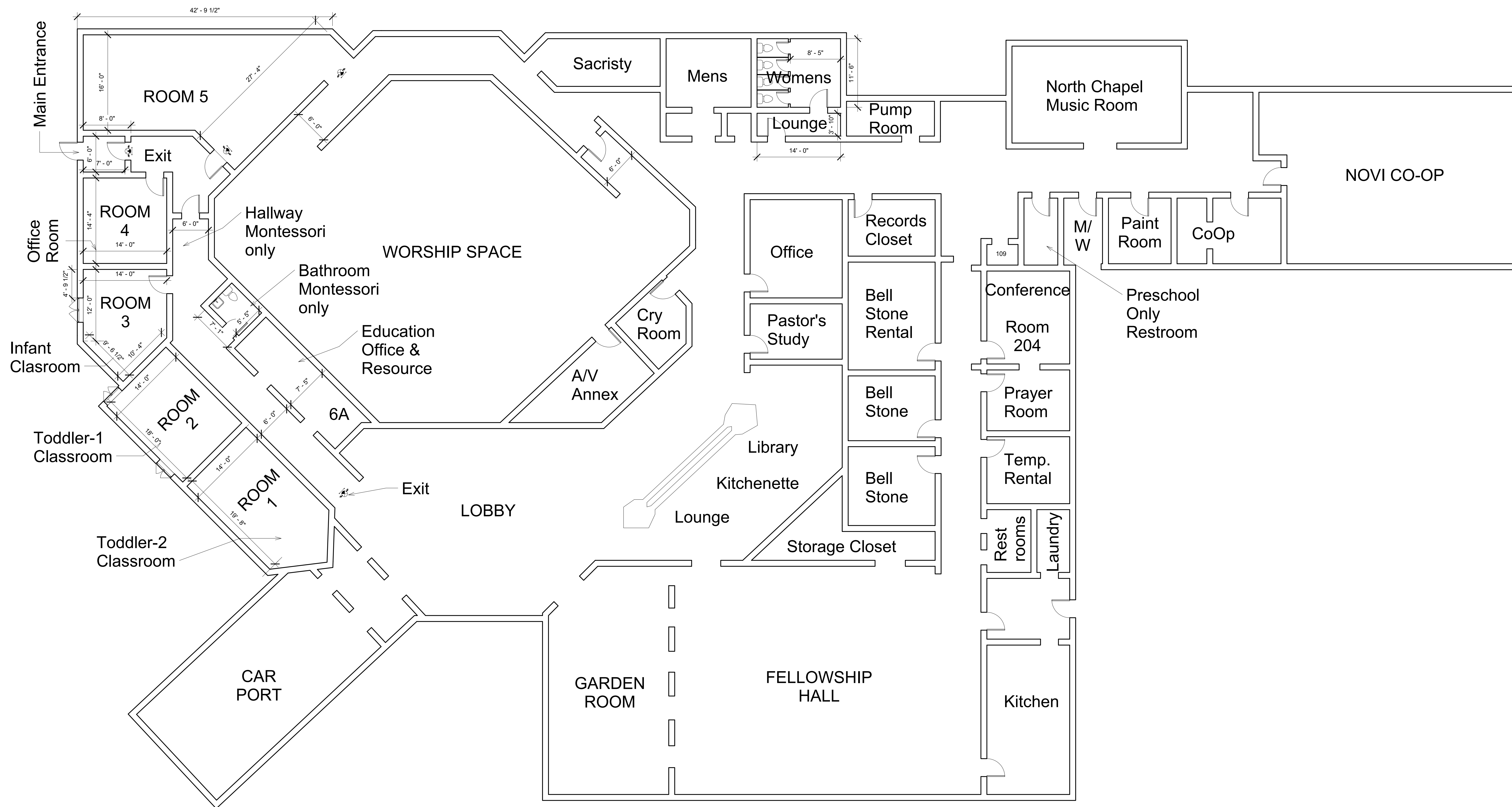
www.timnichols.net
tim@timnichols.net
(248)470-3043



23557 Outwood Dr
Southfield, MI 48033

1 Existing Floor Plan
1/8" = 1'-0"





Client
Novi Radiance

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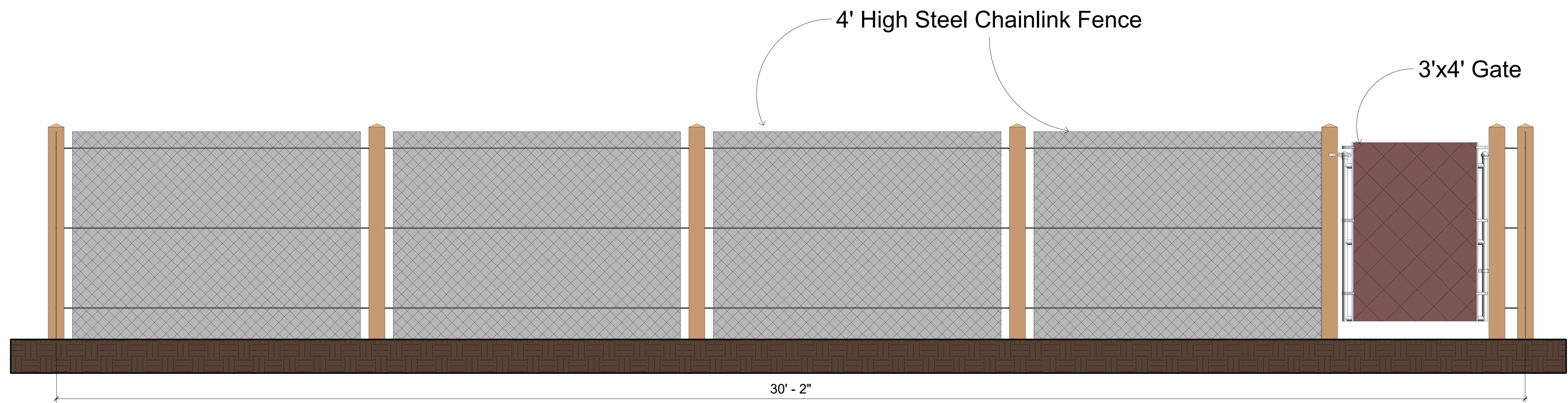
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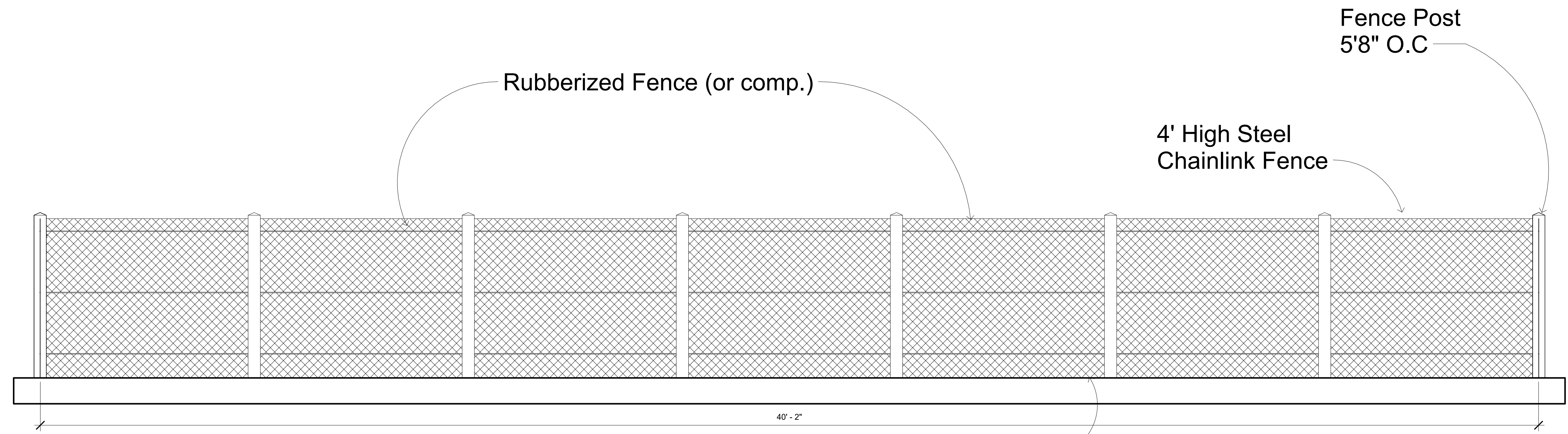
23557 Outwood Dr
Southfield, MI 48033

① Design Floor Plan
1/8" = 1'-0"

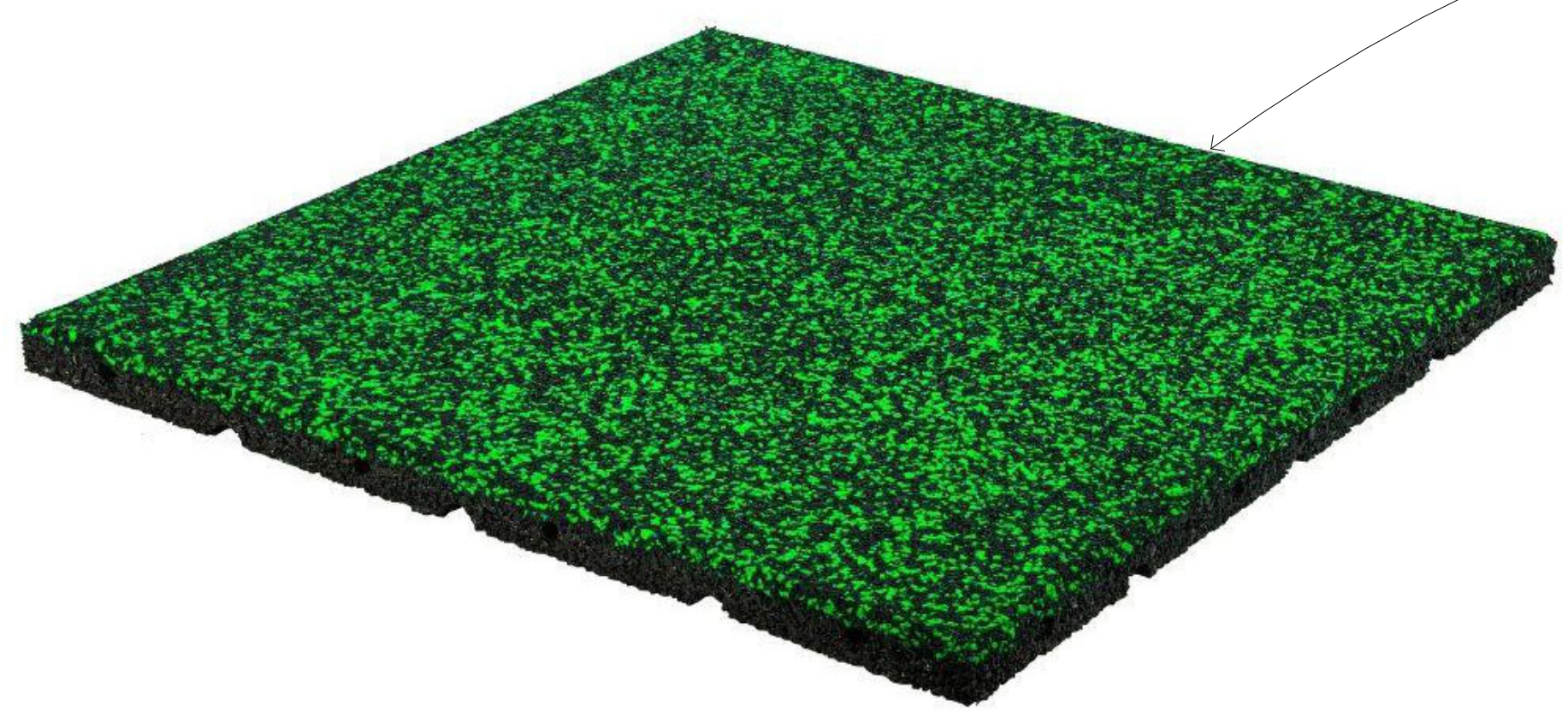




1 Section 1
1 : 15



2 Section 2
1 : 20



Playsafer Rubber Playground tiles Specs:
Size: Actual tile size: 19.75"x19.75" and covers up to 2.7 sq. ft. Each border/edge piece measures 20" x 2.75" x 1" H.
Weight: Tile weight is 11 lbs and Edge weight is 1.5 lbs.
Material: Engineered from eco-friendly sustainable recycled rubber material.
Installation : Dowels & Glue to be used.

Client
Novi Radiance

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(248)470-3043



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Southfield, MI 48033

Construction Notes :

1. No Trees Shall Be Removed.
2. The hours of operation shall be limited to the period between 7am and 6pm.
3. No fence shall carry electrical current or charge of electricity.(Low voltage alarm at gate)
4. Nothing in Section 5.11.2. AD of Non Residential Fences shall be interpreted to supersede the applicable requirements of Section 5.5.
5. All fences shall be maintained in good condition, free of significant corrosion, peeling paint or finish and other damage. All fences shall be maintained in a condition of reasonable repair and not be allowed to become or remain In a condition of disrepair including noticeable leaning or missing sections or portions of sections, broken supports, nonuniform height, and growing of noxious vegetation. All fences shall comply with applicable provisions of the current City of Novi Property Maintenance Code.
6. All work shall conform to the current City of Novi standards and specifications.
7. No Parking area shall be removed for new playground.

Client
Novi Radiance

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(248)470-3043

23557 Outwood Dr
Southfield, MI 48033



RESPONSE LETTER



Tim Nichols Architect

248-470-3043 tim@timnichols.net 23557 Outwood Street Southfield, Michigan 48033

March 8, 2024

RESPONSE LETTER

Subject: JSP23-44 Novi Methodist Play Area March 4, 2024.

Dear Mr. Hill,

I trust this letter finds you well. Thank you for providing a detailed review of the project known as "JSP23-44 Novi Methodist Play Area" located on 10 Mile Road east of Novi Road in Novi, Michigan.

Permit me to address the concerns raised in review letters as follows:

1. Day Care Centers outside recreation requirement (Sec. 4.12.2): The minimum one-hundred fifty (150) square feet of outdoor recreation area per person cared for is not met, in addition to the minimum total area of three-thousand five-hundred (3,500) square feet not being met. **As justification for not meeting this requirement, please note that our license with the State of Michigan stipulates 1,200 square feet of outdoor recreation area.**
2. Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2) **The crosswalk between the building and the play area is 26' X 4'-8" and will be striped with safety yellow.**
3. Dumpster (Sec 4.19.2.F) No dumpster is shown on the Preliminary Site Plan. **A dumpster enclosure (17' wide by 8' deep and 6' high) is located at the southeast corner of the parking area and will be depicted on the final site plan.**
4. Site Plan (Sec. 6.1.2): Some elements of the site plan are not representative of the actual site conditions or what is proposed (i.e. additional

sidewalk). **A final site plan will be provided that accurately depicts the site conditions, removing non-existent sidewalk etc., as noted.**

5. Special Land Use Considerations (Sec. 6.1.2.C):

o Traffic Circulation and Safety: The proposed use will not cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, etc. Ample stacking spaces are provided for pick-up and drop-off

o Public Services and Utilities: The proposed use will not cause any detrimental impact on the capabilities of public services and facilities. No proposed impacts.

o Natural Features: the proposed use is compatible with the natural features and characteristics of the land. No regulated woodlands or wetlands being impacted

o Impact on Surrounding Neighborhoods: the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property. Play area located within existing play area on the site

o Master Plan for Land Use: The proposed use is consistent with the goals, objectives, and recommendations of the City's Master Plan for Land Use. Promoting new business

o Social and Economic Impact: The proposed use will promote the use of land in a socially and economically desirable manner

o Zoning Ordinance and Land Use: The proposed use is listed among the provision of uses requiring special land use review. Daycare use listed

LIST OF DEVIATIONS UNDER CONSIDERATION

• **The applicant is seeking a deviation from the Planning Commission of the required minimum square footage for play areas for day care**

centers, as permitted by the Zoning Ordinance after reviewing the applicant's justification for the decreased play area.

In addition, we acknowledge and agree to limit the hours of operation to the period between the hours of 7 am and 6 pm. **We are requesting a waiver of the requirement for a noise impact study because the new fenced area clearly meets the standards of Section 5.14.10.A and will be within an existing playground.**

Thank you for your time and attention to these matters. Should you have any further inquiries or require additional information, please feel free to contact me.

Regards, 
Tim Nichols
Architect

CORRESPONDENCE



CITY OF NOVI
RESPONSE FORM

RECEIVED
MAR 14 2024
CITY OF NOVI
COMMUNITY DEVELOPMENT

NOVI METHODIST PLAY AREA JSP23-44 FOR SPECIAL LAND USE AND PRELIMINARY SITE PLAN APPROVALS

You are invited to attend the public hearing on March 20, 2024 and voice your support or objection.

Participants may also choose to submit comments that can be read into the record if they are unable to attend. To submit a written reply, you may use this form to reply by mail, email, or fax. Returning this form by mail, email, or fax has as much validity as verbal comments. Signed comments will be added to the record of the meeting. Unsigned or anonymous comments **WILL NOT** be considered. Written comments must be received by 4:00 PM on the day of the meeting.

Return via email: dshanahan@cityofnovi.org

Return via mail or fax: Community Development Department
45175 Ten Mile Road, Novi, Michigan 48375
248-347-0475 (Main) 248-735-5633 (Fax)

Information regarding the project will be available the Saturday prior to the meeting date at: <https://www.cityofnovi.org/agendas-minutes/planning-commission/2024/>.

Plans are available for viewing during the City's regular business hours, Monday thru Friday, 8:00 AM to 5:00 PM, at the Community Development Department, or by contacting bmcbeth@cityofnovi.org.

I SUPPORT

I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I have lived here for over 45 years. I have seen many changes - some good - some not so good. I do not think this WayCar is a good idea at all. 10 mile road is almost like another freeway - no controlling speeds. Cars being left and right. Arrival & Dismissal with only add to stop & go traffic - which is already lined up by 3:00 p.m.

SIGNATURE: Pamela Ann Brown

PRINT NAME: Pamela Ann Brown

ADDRESS: 24228 Kings Pointe

The carwash is another distraction.

*** IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, IS HEREBY REQUESTED TO POST THE NOTICE AT A PRIMARY ENTRANCE TO THE STRUCTURE(S). ***



CITY OF NOVI
RESPONSE FORM

RECEIVED

MAR 07 2024

**CITY OF NOVI
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I SUPPORT

I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

SIGNATURE: Janet E. Flavin

PRINT NAME: JANET E FLAVIN

ADDRESS: 41536 Tamara Dr, Novi, Mi 48375

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CITY OF NOVI
RESPONSE FORM

RECEIVED
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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

SIGNATURE:
PRINT NAME: Carlos Valadez
ADDRESS: 41861 Quince Dr

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